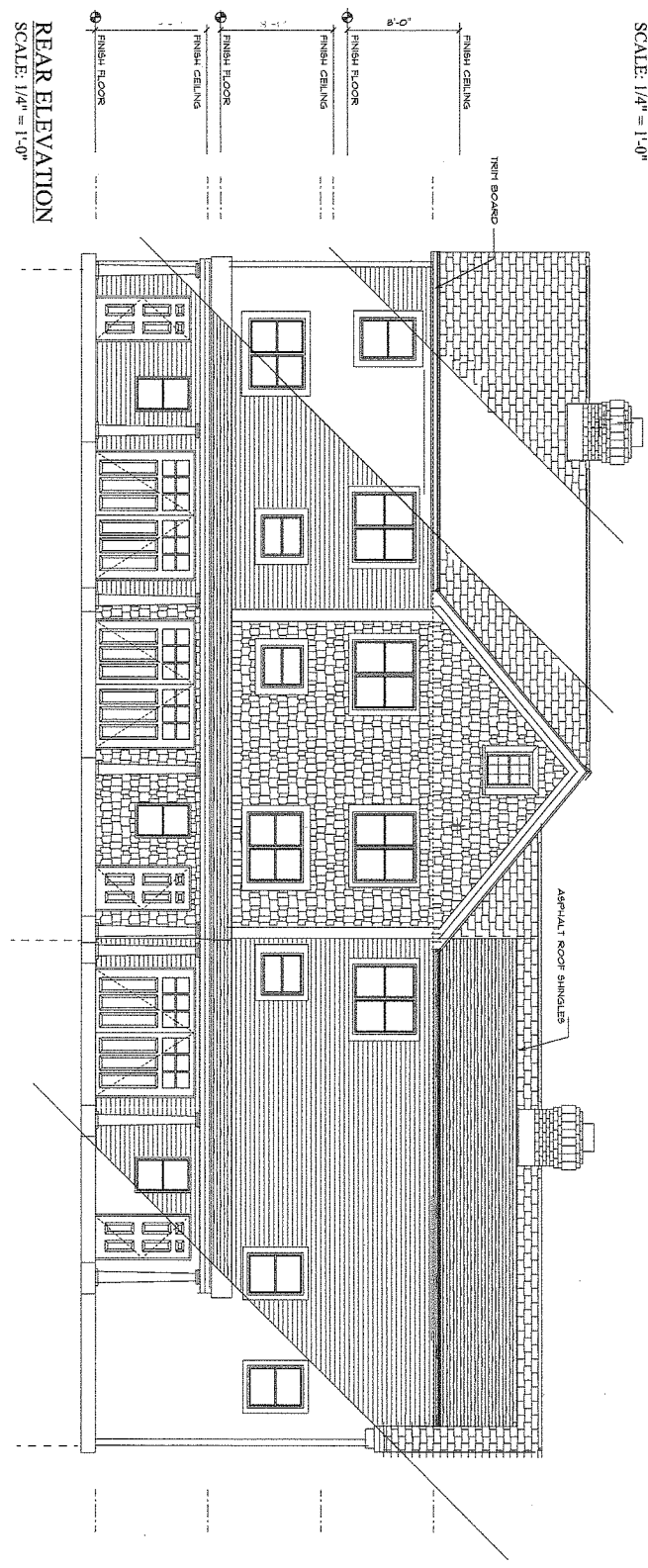
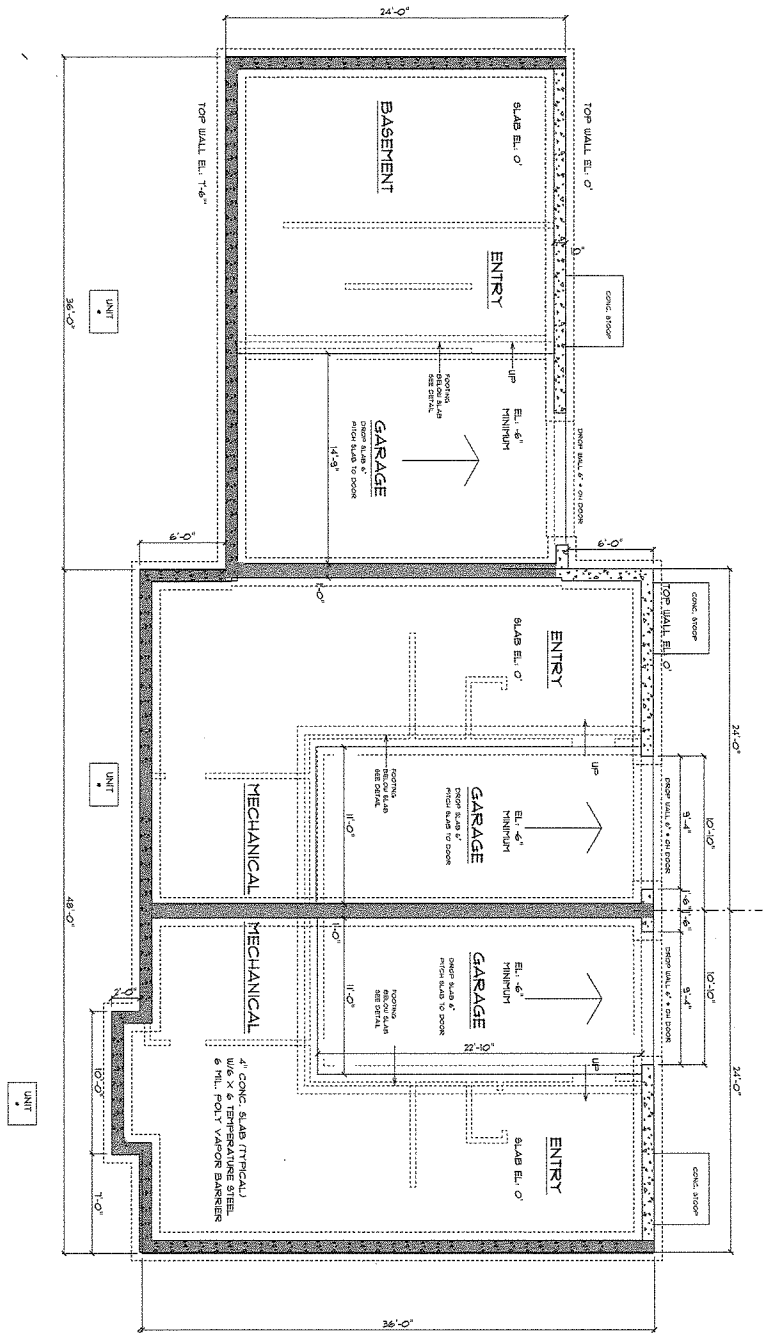


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

<b>A3-1</b>	<b>PROJECT ACTION</b>	<b>Andover Estates 3-PLEX</b> Andover Street Tewksbury, MA	<b>BUILDER</b>	<b>PHIL-JAS, LLC</b> PO BOX 837 BILLERICA, MA	<b>DESIGNER</b>	ARCHITECT OF RECORD:
	DATE: 01/20/20	DRAWN BY: JSD				CHECKED BY: JSD



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**  
 Conc. retaining walls & slabs use also Landscape drawings for locations & structural Engineer for details.  
 Bat. footings on undisturbed soil  
 Unless otherwise specified use only 3000 psi concrete.  
 Follow ACI standards & MA Building Code 19th Ed.

**F1-G**

Foundation of SOGA

PROJECT  
ACTION

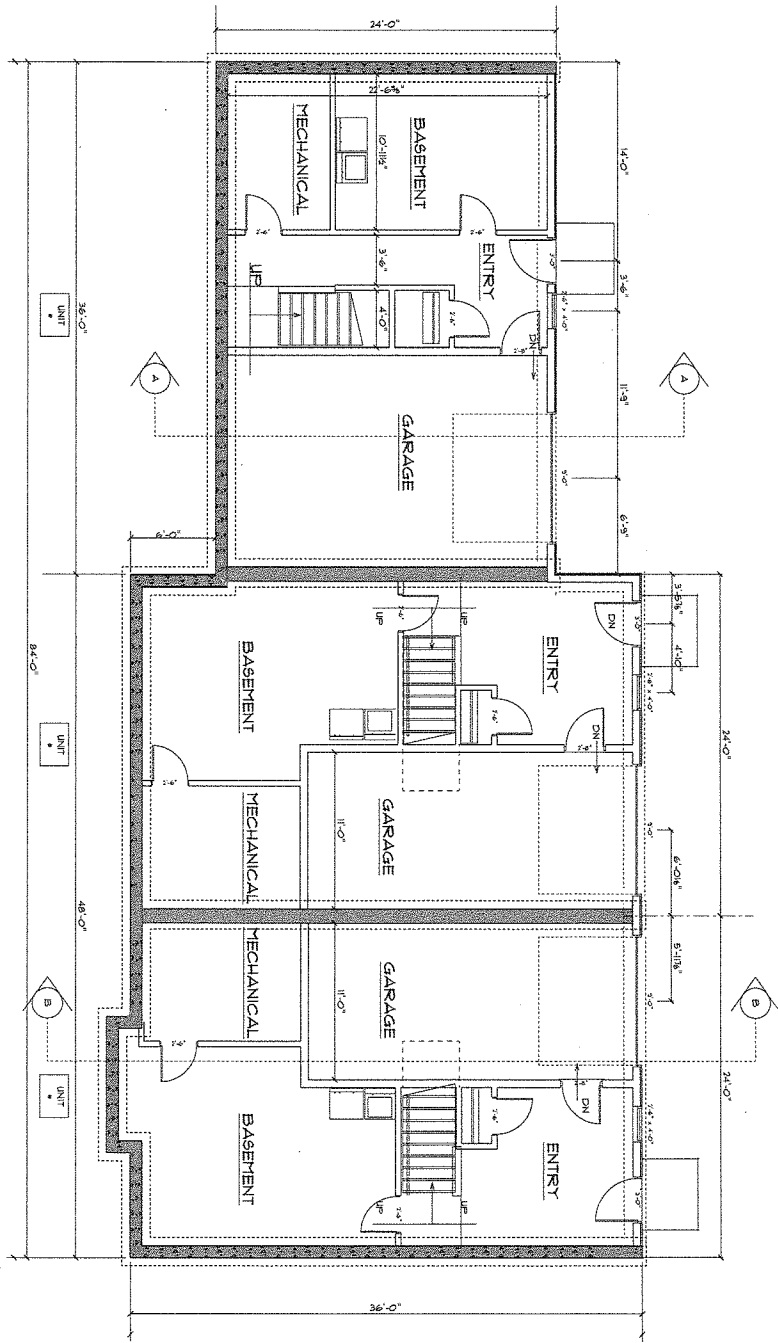
Andover Estates 3-PLEX  
Andover Street 6-PLEX  
Tewksbury, MA

PHIL-JAS, LLC  
PO BOX 837  
BILLERICA, MA

DESIGNER  
ARCHITECT OF RECORD:

J S DUGGER, AIA & ASSOCIATES  
25 BEACH ROAD  
GLoucester, MA 01930  
978-283-9303 jsd@aia@verizon.net

BLUDDER



**GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**M I-G**

DATE: 01/10/18  
 DRAWING NO: 1008  
 PROJECT NO: 1008  
 SHEET NO: 1008

**PROJECT ACTION**

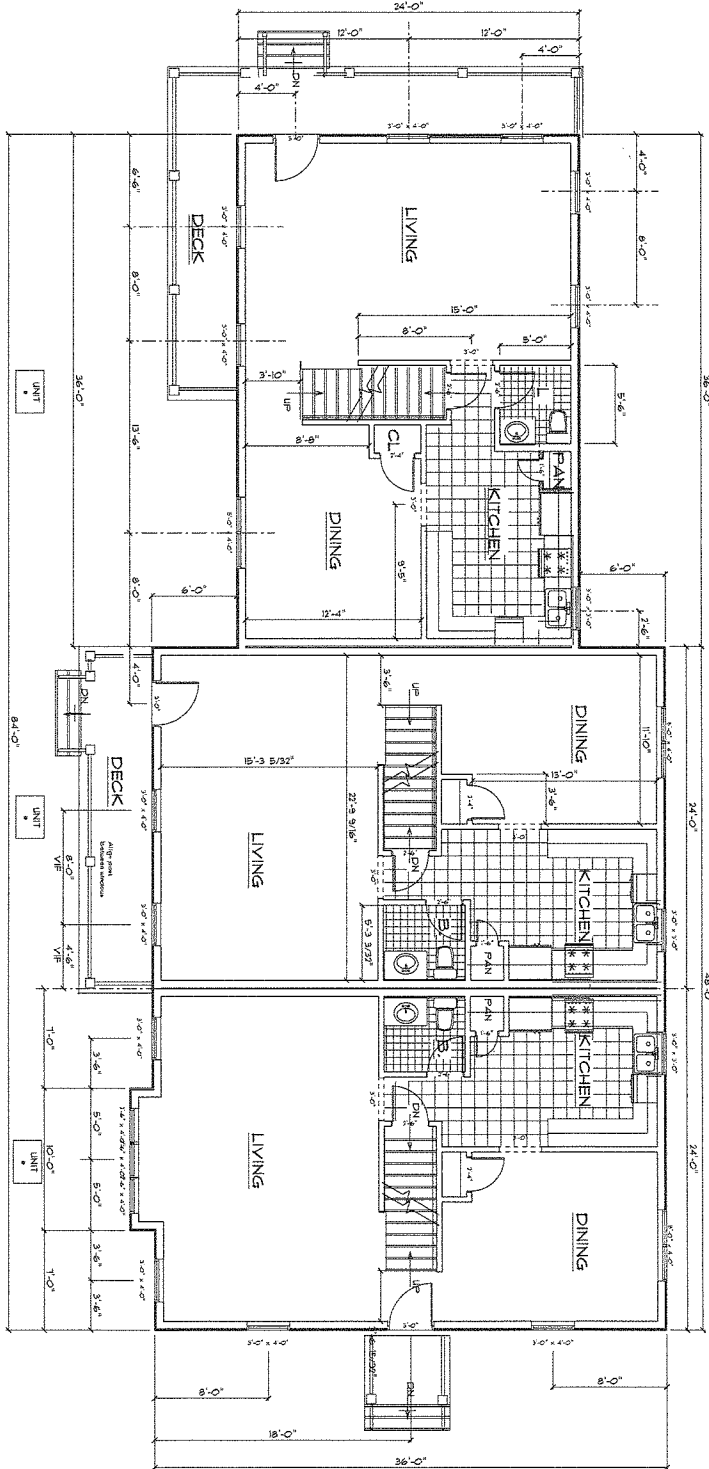
**Andover Estates 3-PLEX**  
 Andover Street  
 Tewksbury, MA

**BUILDER**

**PHEL-JAS, LLC**  
 PO BOX 837  
 BILLERICA, MA

**DESIGNER**

ARCHITECT OF RECORD:  
**J S DUBBER, AIA & ASSOCIATES**  
 25 BEACH ROAD  
 GLoucester, MA 01930  
 978-283-8203 JSDBAIA@VERIZON.NET



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**Wall Key**

- Existing to remain
  - New wall
  - Existing to be removed [ - - - - - ]
  - New 2" x 8" Exterior Wall
- Wall Types:**
- EXTERIOR WALLS TO BE 2" X 8" W/1" HORIZONTAL SIDING
  - INTERIOR WALLS TO BE 2" X 8" (CEILING)
  - 2" X 8" (QUEB WALLS)

**Door Key**

- 2 1/2" New door
- MULTIFAMILY HOUSING ACT (MHA) REGULATIONS ARE CALLED FOR PLUMB, MECHANICAL, AND ELECTRICAL SYSTEMS TO BE INSTALLED IN ALL UNITS. THE LOCATION OF THESE SYSTEMS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE DESIGNER. THE LOCATION OF THESE SYSTEMS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVING TO INSTALL ALL NECESSARY SYSTEMS.

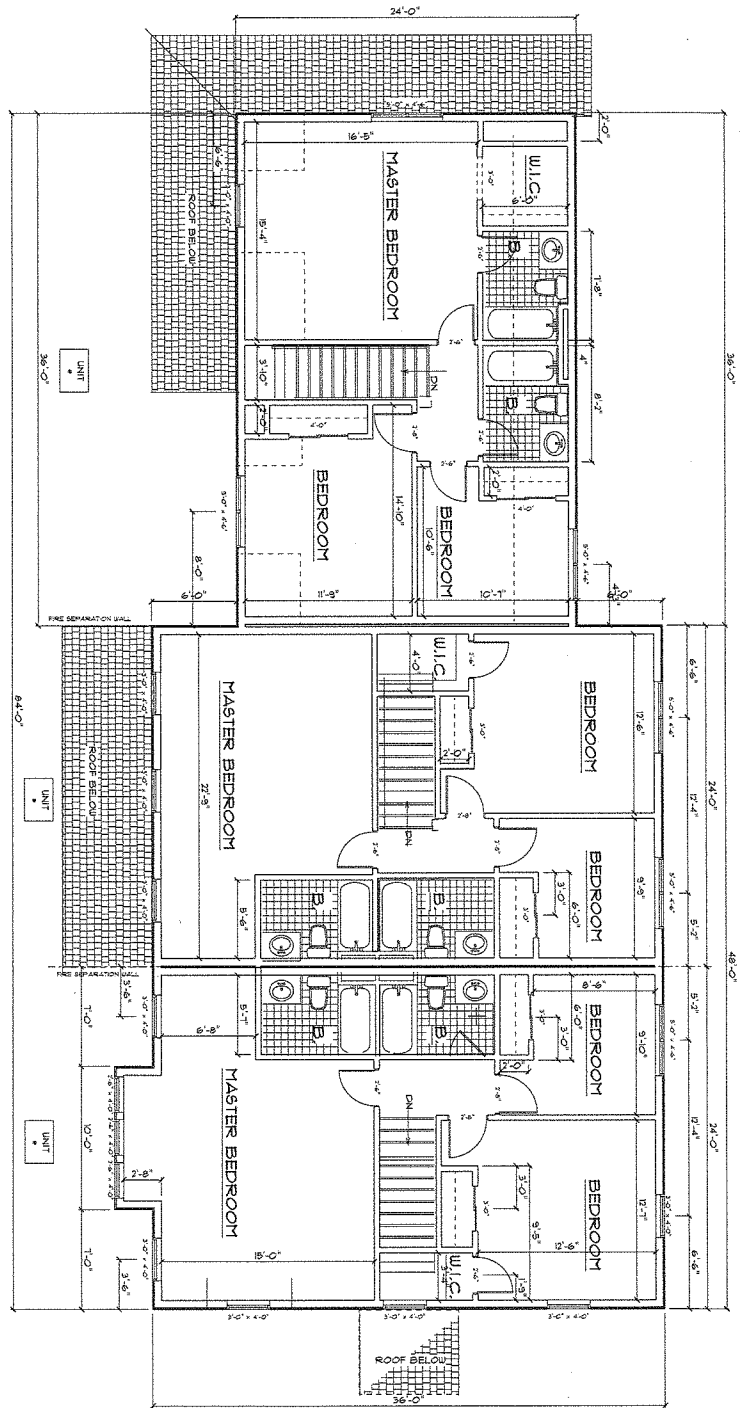
**Window Key**

- 8'-0" x 3'-6"
  - 6'-0" x 3'-6"
- MULTIFAMILY HOUSING ACT (MHA) REGULATIONS ARE CALLED FOR PLUMB, MECHANICAL, AND ELECTRICAL SYSTEMS TO BE INSTALLED IN ALL UNITS. THE LOCATION OF THESE SYSTEMS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE DESIGNER. THE LOCATION OF THESE SYSTEMS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVING TO INSTALL ALL NECESSARY SYSTEMS.

**Finish Notes:**

- ALL FINISHES TO BE CALLED TO INTERFERE.
- WALLS TO BE 5/8" GYP BOARD.
- CEILING TO BE 5/8" GYP BOARD.
- FLOORING TO BE 3/4" GYP BOARD.
- TRIM TYPICAL TO EXISTING TRIM.
- DOOR AND CASE FINISHES TO BE CALLED.
- DOOR AND CASE FINISHES TO BE CALLED.
- BY THE CONTRACTOR.

<b>M-1-1</b>	<p><b>PROJECT</b> Andover Estates 3-PLEX Andover Street Tewksbury, MA</p> <p><b>BUILDER</b></p>	<p><b>DESIGNER</b> ARCHITECT OF RECORD: <b>J S DUGGER, AIA &amp; ASSOCIATES</b> 25 BEACH ROAD GLOUCESTER, MA 01930 978-283-8303 JSDAIA@VERIZON.NET</p>	
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SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**M1-2**

OWNER OF ROOM

PROJECT ACTION

PROJECT ACTION

**Andover Estates 3-PLEX**

Andover Street  
Tewksbury, MA

**BUILDER**

**PHEL-JAS, LLC**

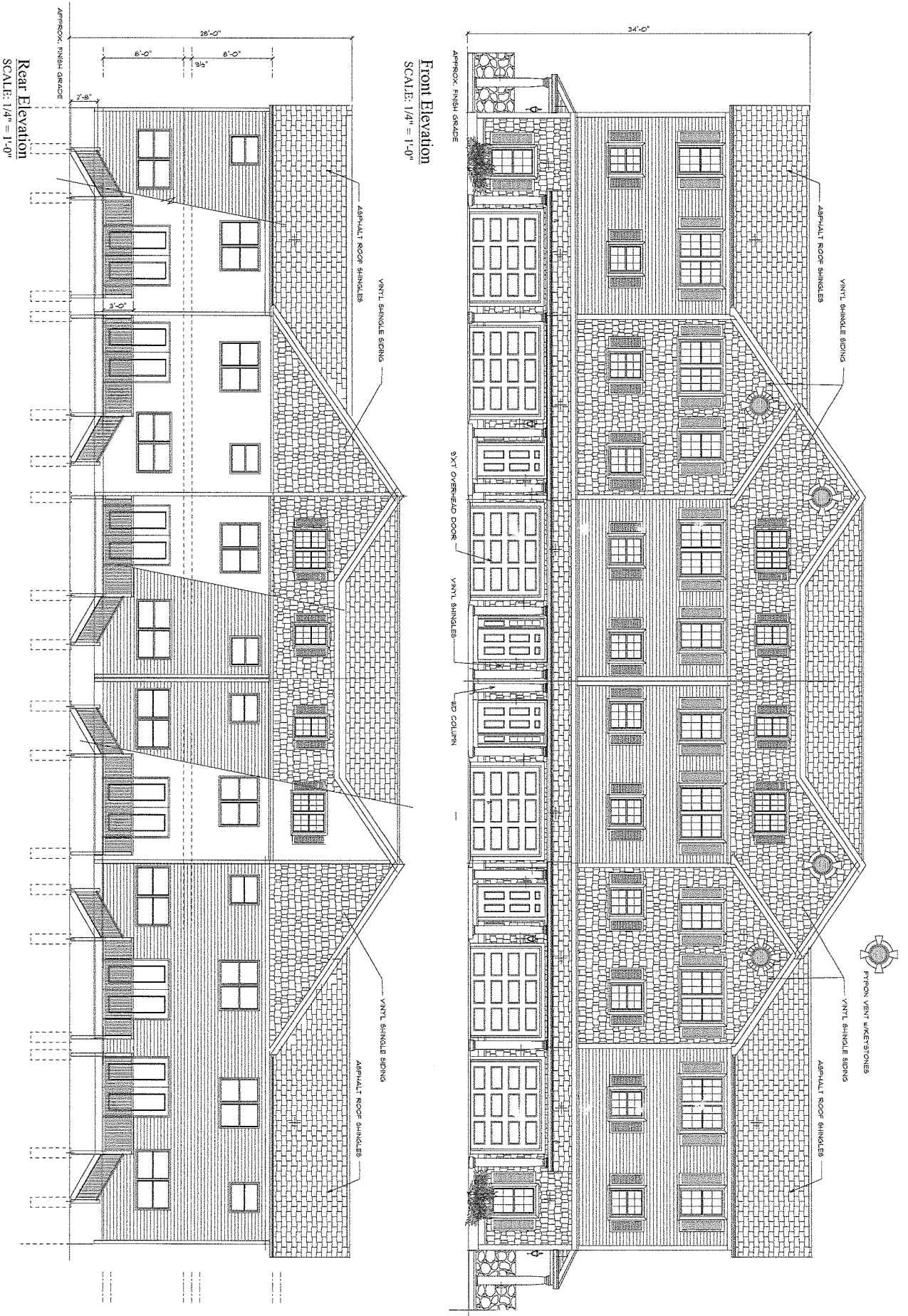
PO BOX 837  
BILLERICA, MA

**DESIGNER**

ARCHITECT OF RECORD:

**J S DUBBER, AIA & ASSOCIATES**

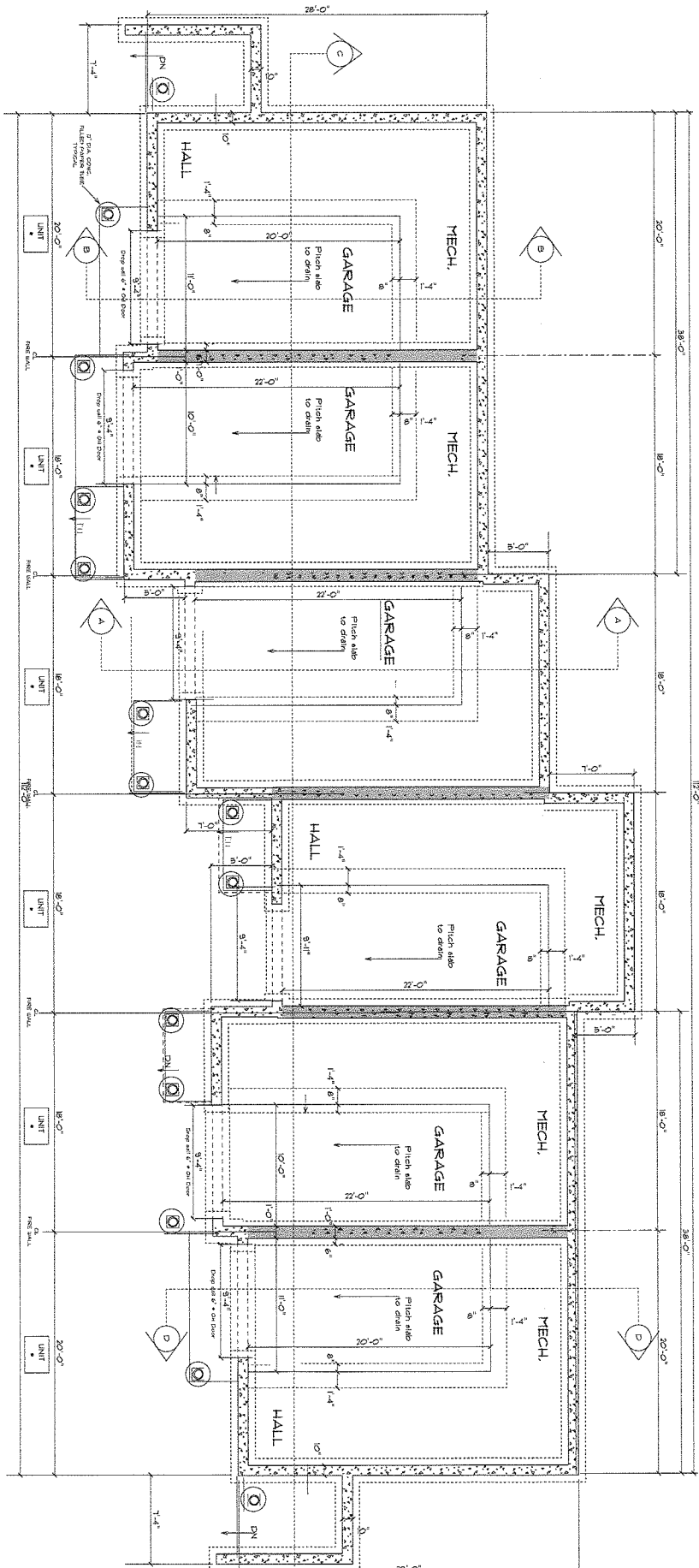
25 BEACH ROAD  
GLOUCESTER, MA 01930  
978-283-8303 JSDAIA@VERIZON.NET



**Front Elevation**  
SCALE: 1/4" = 1'-0"

**Rear Elevation**  
SCALE: 1/4" = 1'-0"

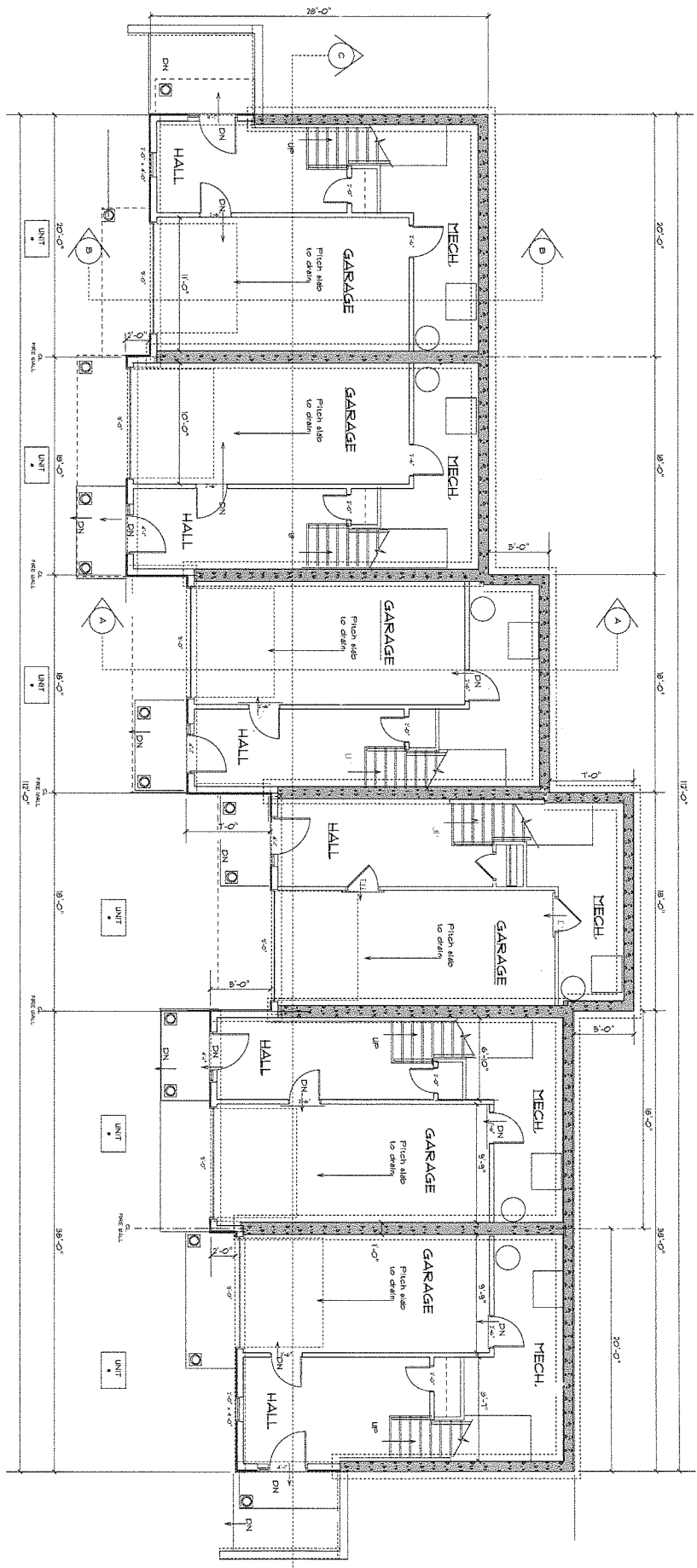
<b>A3-1</b>	PROJECT <b>Andover Estates 6-PLEX</b> Andover Street Tewksbury, MA	BUILDER  	ARCHITECT OF RECORD: <b>J S DUGGER, AIA &amp; ASSOCIATES</b> 25 BEACH ROAD GLOUCESTER, MA 01930 978-263-8303 JSDAIA@VERIZON.NET



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**  
 1. Consult with geotechnical engineer for soil conditions and foundation design.  
 2. See footing on undisturbed soil.  
 3. Unless otherwise specified use min. 3000 psi concrete.  
 4. Follow ACI standards for building Code 9th Ed.

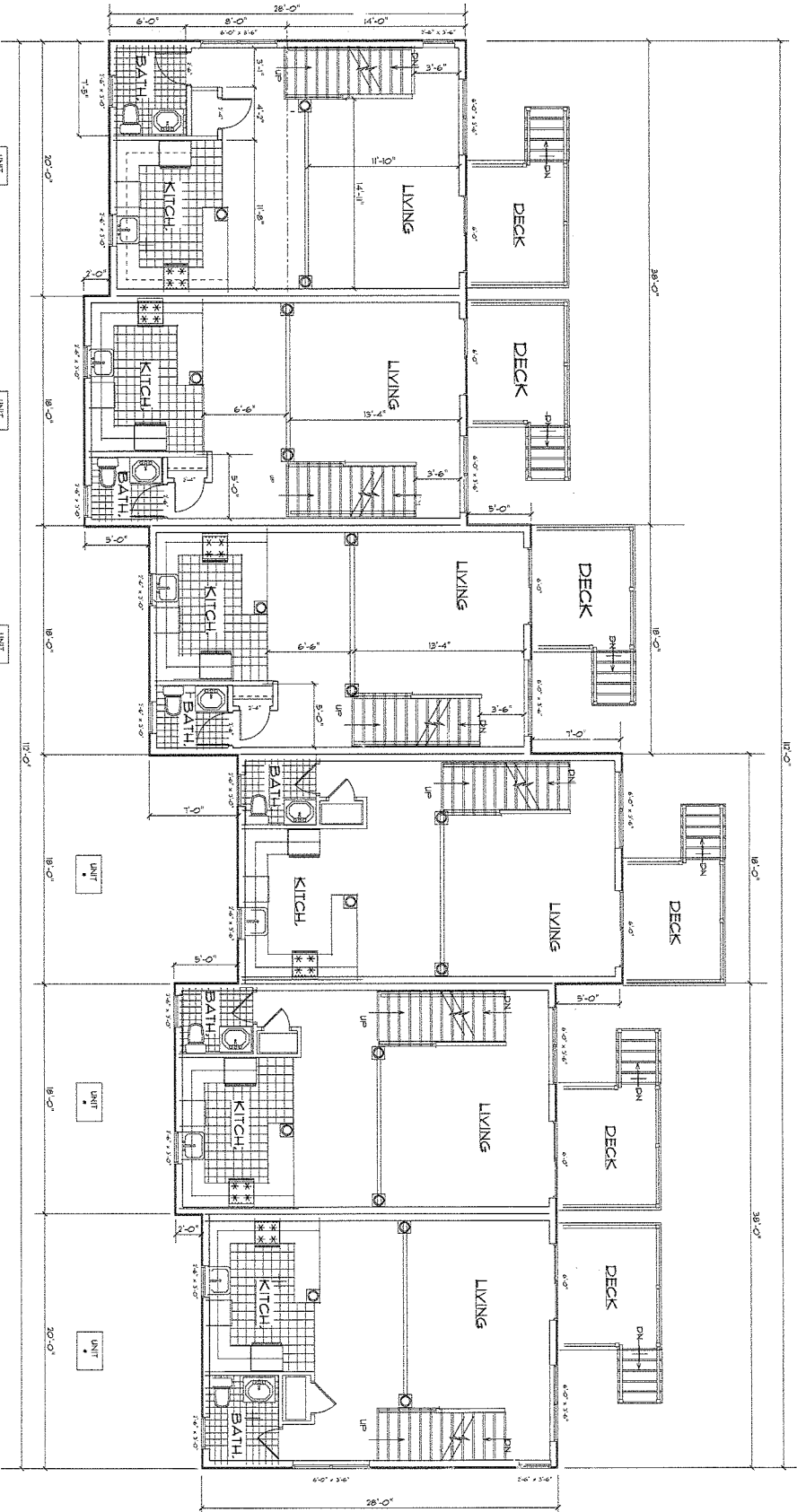
<b>PROJECT ACTION</b>	<b>Andover Estates 6-PLEX</b>	<b>BUILDER</b>	<b>DESIGNER</b>	ARCHITECT OF RECORD:
	Andover Street Tewksbury, MA			<b>J S DUGGER, AIA &amp; ASSOCIATES</b>
<b>11-G</b>				25 BEACH ROAD GLoucester, MA 01930 978-282-8303 JSDAIA@VERIZON.NET



**GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

<b>A1-G</b>	<b>PROJECT ACTION</b>	<b>BUILDER</b>	<b>DESIGNER</b>
	<b>Andover Estates 6-PLEX</b> Andover Street Tewksbury, MA	<b>J S DUGGER, AIA &amp; ASSOCIATES</b> 25 BEACH ROAD ELUCHESTER, MA 01930 978-283-8303 JSDDAIA@VERIZON.NET	ARCHITECT OF RECORD.





**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- Wall Key**
- Existing to remain
  - New wall
  - Existing to be removed
  - New 2 x 4 exterior wall
- Wall Types:**
- EXTERIOR WALLS TO BE 2 X 4 W/ 2" HORIZONTAL SIDING
  - INTERIOR WALLS TO BE 2 X 4 (NON BEARING)
  - 2 X 6 (NON BEARING)
  - 2 X 6 (HEAVY WALLS)

- Door Key**
- New door
- Window Key**
- New window

**Finish Notes:**

- ALL FINISH TO BE CLASS 3 RESIDENTIAL
- CEILING SHALL BE 1/2" GYP BOARD WITH POP CORN
- WALLS SHALL BE 5/8" GYP BOARD WITH POP CORN
- FLOORS SHALL BE 3/4" GYP BOARD WITH 1/4" GYP BOARD
- NOTE: EXISTING REPAIRS TO BE DONE AND SHOW ON PLAN
- EXISTENCES AND DIMENSIONS SHOWN ARE APPROXIMATE
- VERIFY DIMENSIONS AND CONDITIONS TO EXISTING AND RECONSTRUCT
- SEE SPECIFICATIONS FOR ALL FINISHES AND MATERIALS
- SEE THE SPECIAL NOTES

**DESIGNER**

ARCHITECT OF RECORD:  
**J S DUGGER, AIA & ASSOCIATES**  
 25 BEACH ROAD  
 GLOUCESTER, MA 01930  
 978-283-8500 FAX: 978-283-8501  
 JDUGGER@VERIZON.NET

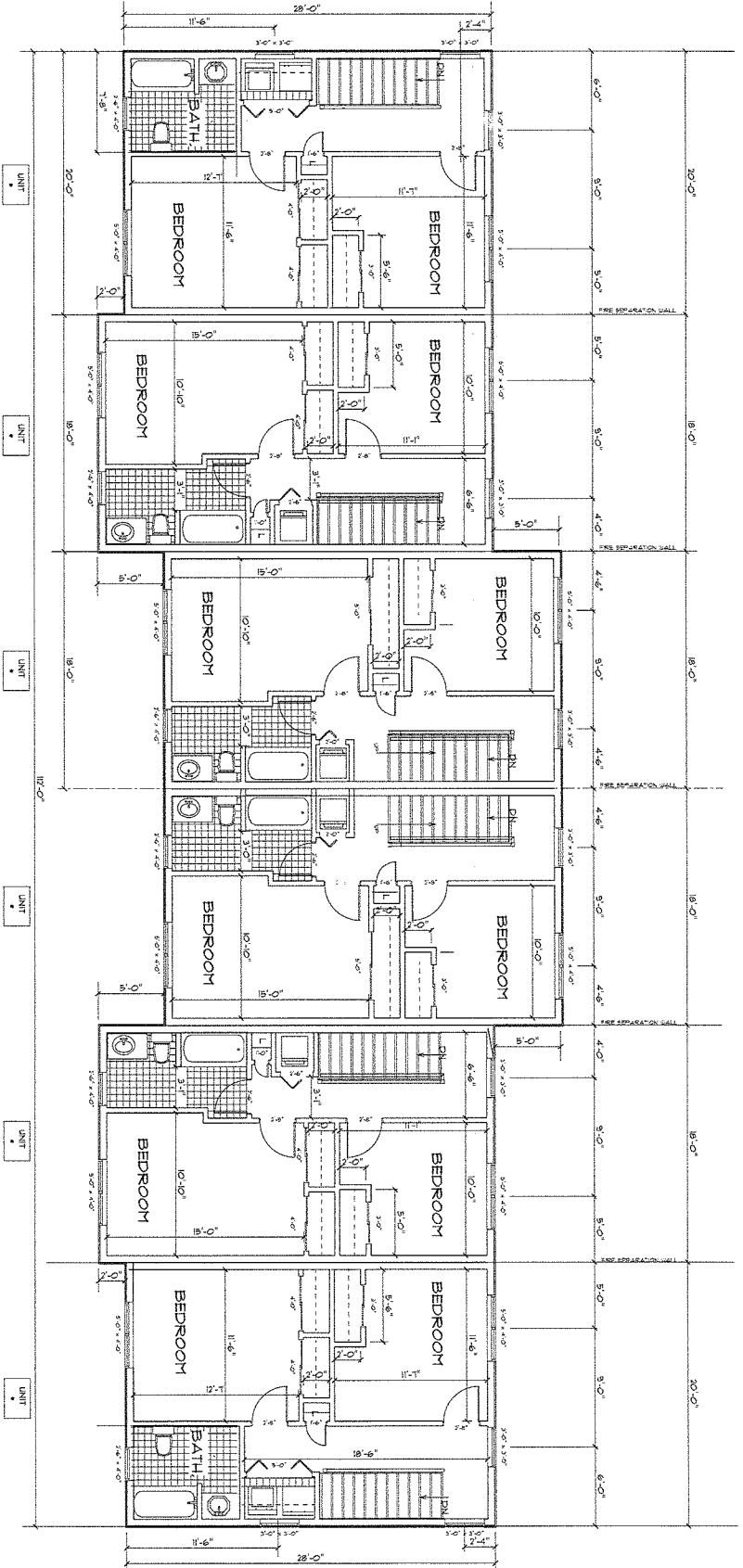
**BUILDER**

**Andover Estates 6-PLEX**  
 Andover Street  
 Tewksbury, MA

**PROJECT ACTION**

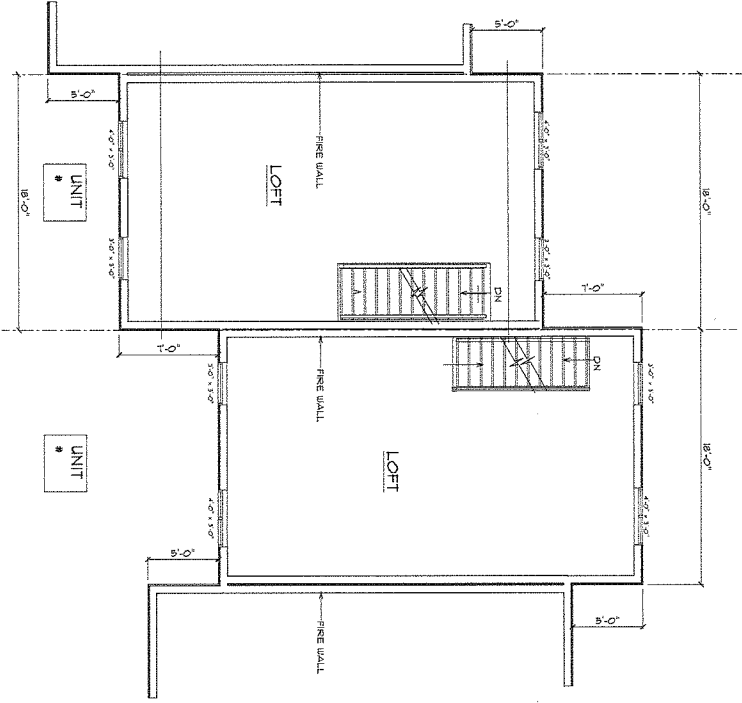
**A1-1**

DATE: 12/20/09



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

<b style="font-size: 24pt;">A1-2</b>	<b>PROJECT</b> <b>Andover Estates 6-PLEX</b> Andover Street Tewksbury, MA	<b>BUILDER</b> <b>PHEL-JAS, LLC</b> PO BOX 837 BILLERICA, MA	<b>DESIGNER</b> ARCHITECT OF RECORD: <b>J S DUGGER, AIA &amp; ASSOCIATES</b> 25 BEACH ROAD BILLERICA, MA 01930 978-676-2525 <small>JDUGGER@VERIZON.NET</small>
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**LOFT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**A1-3**

November 21, 2007

**PROJECT ACTION**

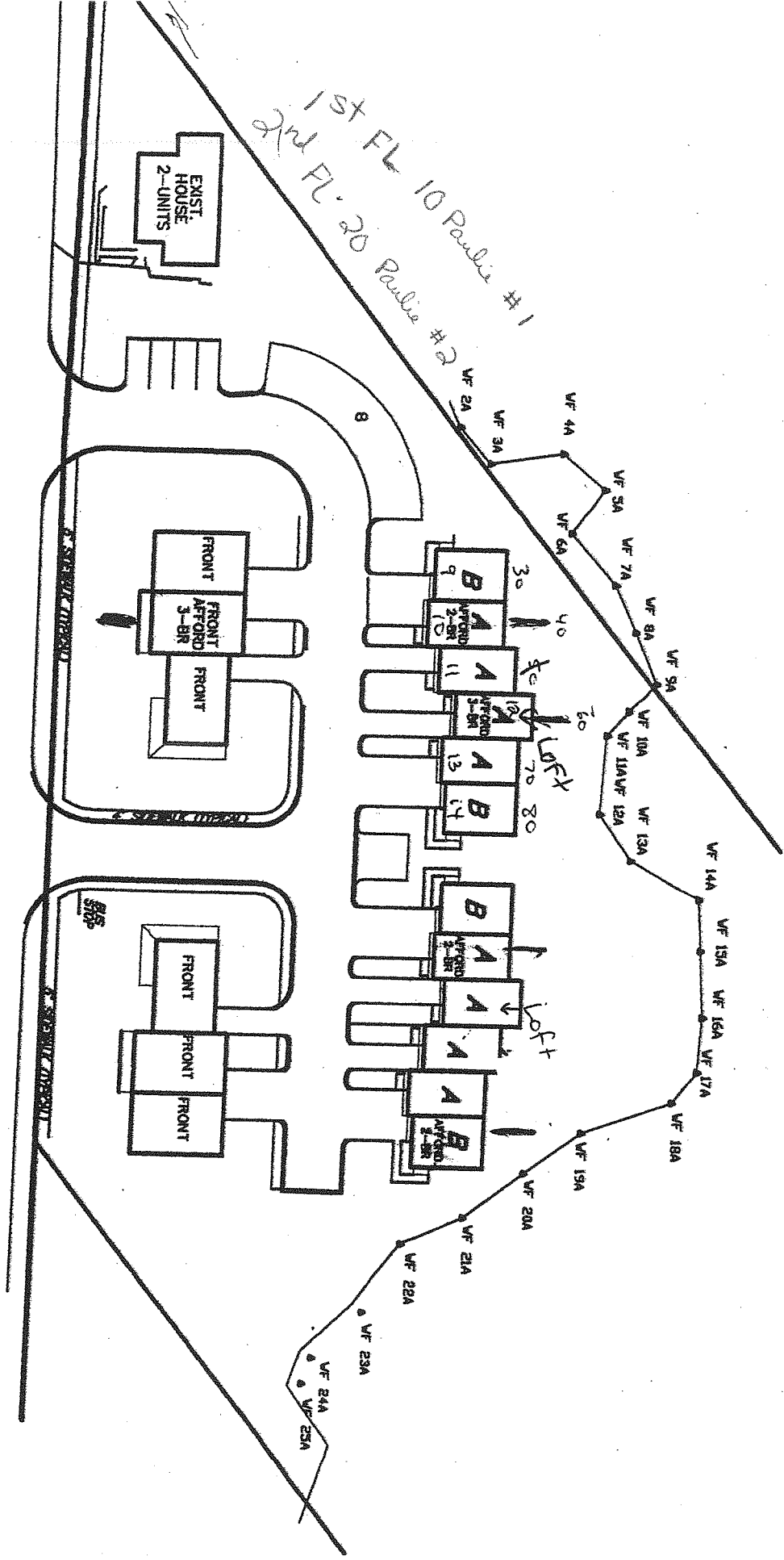
**Andover Estates 6-PLEX**  
 Andover Street  
 Tewksbury, MA

**BUILDER**

**DESIGNER**

ARCHITECT OF RECORD:  
**J S DUBBER, AIA & ASSOCIATES**  
 25 BEACH ROAD  
 GLOUCESTER, MA 01930  
 978-283-8303 JSDBIA@VERIZON.NET

40 Units



408 Units

**Juliette Urbaez**

**From:** Joann Allen [jallen@jjphelan.com]  
**Sent:** Tuesday, February 14, 2012 11:58 AM  
**To:** 'Juliette Urbaez'  
**Subject:** Andover Estates Unit breakdown

Hi Juliette,

Please find listed below the address's and unit # for Andover Estates. I have also listed the affordable units along with the units that are under agreement:

**Duplex – Phase I**

10 Paulies Place Unit #1 (closing tomorrow) *SOLD*  
 20 Paulies Place Unit #20 (closed 01/12/12) *SOLD*

**Building #4 – 6 plex (Phase II)**

30 Paulies Place Unit #9 (under agreement) *SOLD*  
 40 Paulies Place Unit #10 (affordable)  
 50 Paulies Place Unit #11 (under agreement) *SOLD*  
 60 Paulies Place Unit #12 (affordable)  
 70 Paulies Place Unit #13 *SOLD*  
 80 Paulies Place Unit #14 (under agreement) *SOLD*

**Building #5 – 6 Plex (Phase III)**

90 Paulies Place Unit #15 (under agreement)  
 100 Paulies Place Unit #16 (affordable)  
 110 Paulies Place Unit #17 (under agreement)  
 120 Paulies Place Unit #18 (under agreement)  
 130 Paulies Place Unit #19 (affordable)  
 140 Paulies Place Unit #20 (under agreement)

**Building #3 3 Plex (Phase IV)**

115 Paulies Place Unit #6  
 125 Paulies Place Unit #7  
 135 Paulies Place Unit #8

**Building #2 3 Plex (Phase VI)**

35 Paulies Place Unit #3  
 45 Paulies Place Unit #4 (affordable)  
 50 Paulies Place Unit #5

Please let me know if you need any more information.

Thanks a million

Joann